

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: RON WHISENAND, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: PLANNED DEVELOPMENT 08-005 (STUDIOS ON THE PARK, INC.)

DATE: SEPTEMBER 9, 2008

Needs: To consider an application filed by Larry Gabriel on behalf of Anne Laddon and Studios on the Park, Inc., requesting to renovate an existing building to accommodate the development of a new art studio.

- Facts:
1. The building is located at 1130 Pine Street (see attached Vicinity Map).
 2. The approximate 9,375 square foot site has a General Plan Land Use designation of Community Commercial (CC). The Zoning designation is C3-PD (General Commercial within the Planned Development Overlay). The site is within the Downtown Parking Area.
 3. According to Table 21.16.200, Permitted Use Table, art studios and associated retail sales uses are permitted in the C3 zoning district.
 4. The existing unreinforced masonry building is on the City's list for needing retrofit and is therefore currently vacant. With the renovation, the building would be brought up to the necessary codes.
 5. The proposed project would consist of utilizing the existing façade and perimeter walls and adding additional stories which would result in three stories towards the rear of the building fronting on Railroad Street. (See the building architectural elevations included in the PD Resolution, Attachment 5)
 6. It has been determined through the environmental review process that the existing building meets CEQA's threshold of historic significance. However, the addition is fully consistent with the Secretary of Interior Standards for historic significance and therefore, a Mitigated Negative Declaration has been prepared for this project. Mitigation measures were identified, such as incorporating historic elements from the original building that would bring impacts to a level of non-significance. See further analysis and specific mitigation measures in the Analysis and Conclusion section of this report.
 7. Section 21.22.035, of the parking ordinance gives credit to buildings in the downtown that are replaced or re-constructed. The ordinance only requires that the incremental increase in building square footage be required to provide parking spaces. In this case, the increase in building square footage is 9,147 square feet. Therefore, 23 parking spaces would be required (based on 1/400 square feet). The applicant is proposing to pay in-lieu parking fees rather than provide parking on

site.

8. The parking ordinance has established \$4,640 per space as the in-lieu fee. Provided the applicant “pulls a building permit” in the 2008 calendar year, this project will be required to pay \$106,720 (23 X \$4,640). Fees increase \$1500 plus any consumer price index (CPI) every January 1st of each year. The in-lieu fees are calculated and required to be paid at the time the building permit is issued by the Building Department.
9. The project was reviewed by the Development Review Committee (DRC) at their meetings on August 25, 2008. The DRC recommended approval of the design as proposed with final awning colors to be approved by the DRC after the building is completed and painted so that the DRC would have a better understanding of how the awning colors would compliment the building colors. The DRC also requested that the applicant submit a final exterior lighting plan for approval by the DRC. These conditions have been included in the PD resolution, attached.
10. Norma Moyer on behalf of the Downtown Main Street Association was at the DRC meeting and was in favor of the project.

Analysis and

Conclusion:

The goal of Studios on the Park, Inc. is to establish a vibrant visual arts center of creativity, learning, and interaction in the downtown center (see attached Mission Statement by Ann Laddon, Attachment 2).

As mentioned above, the subject property is not currently listed as a potential historical resource by the City’s current Historical Resource Inventory. However, subsequent analysis by the historians assisting the City in the update of the City’s inventory has identified the building as meeting CEQA’s threshold of historic significance. The circumstances that make this particular building significant relate its origin as 1930’s Packard/Hudson showroom. The City of Paso Robles, being located between the metropolitan areas of Los Angeles and San Francisco, had its commercial core built adjacent to the State Highway which is now Spring Street. Many auto oriented uses, such as motor hotels, service stations, etc. were drawn to the downtown and Spring Street corridor.

Relocation of the State Highway, changes in transportation technology, and general redevelopment of our downtown core have all contributed to the loss of many of these representative examples of our auto oriented businesses and early 1900’s architecture. Because of its construction, this building has survived changes in architectural character of our downtown. Character defining features of the building that contribute to its historical significance include:

- Pine Street Storefront façade
- Board form concrete walls and “pebble” stucco
- Interior open wooden truss system

- Blade sign
- Scored concrete flooring
- Hip roof design and profile

The project involves retaining historic building elements, modifying the Pine Street entry to meet the tenant needs, and expanding the building to include a new Railroad Street façade as well as second and third story space. The Secretary of the Interior Standards for the Treatment of Historic Buildings allow for modification of historic resources. However, in order to mitigate detrimental changes to the historical significance of the building, key building features need to be preserved and maintained in order to protect and not overshadow the elements significance. To that end, the following mitigation measures are required:

1. The Pine Street façade shall remain including the pebble texture. Changes in building entry features and front windows shall be subject to approval of the Community Development Director. Window sill height shall be compatible with downtown storefront design and close to 24 inches high.
2. The second floor shall be set back a minimum of 14 feet from the front façade. The third floor shall be limited to the rear half of the building.
3. The new roof shall maintain similar angles and gable design.
4. The side concrete walls shall remain in place.
5. The scored concrete floor shall remain and new flooring at the rear of the first floor shall be compatible.
6. Photo documentation of the building's interior shall be completed prior to construction. The wooden truss system can be removed due to structural issues. However, the project shall include interior project features such as decorative trim, stairways, railing, etc. that emulates the truss pattern of the original roof and re-uses it in an interpretive manner.
7. Keep interior ceilings high and open to the maximum extent possible.
8. The existing blade sign shall be incorporated into the proposed design.

With the incorporation of the above measures into the project design, the establishment of the art studio would meet the intent of the General Plan, since it would be provide the opportunity for merchants to view and purchase specialty items in the historic downtown.

Additionally, the Studios on the Park project would meet the intent of the Economic Strategy by creating opportunities for personal and professional growth, since it would encourage and enrich urban culture and center (downtown) focus.

Policy

Reference: General Plan Land Use Element; General Plan Update EIR certified in 2003; Zoning Code and California Environmental Quality Act (CEQA), Economic Strategy.

Fiscal

Impact: The art studio project will help generate new investment in the downtown by providing retail and office/studio space for professionals who will work and shop in the area. Additionally, by requiring the payment of in-lieu parking fees, money will be generated to

help fund future parking facilities in the downtown.

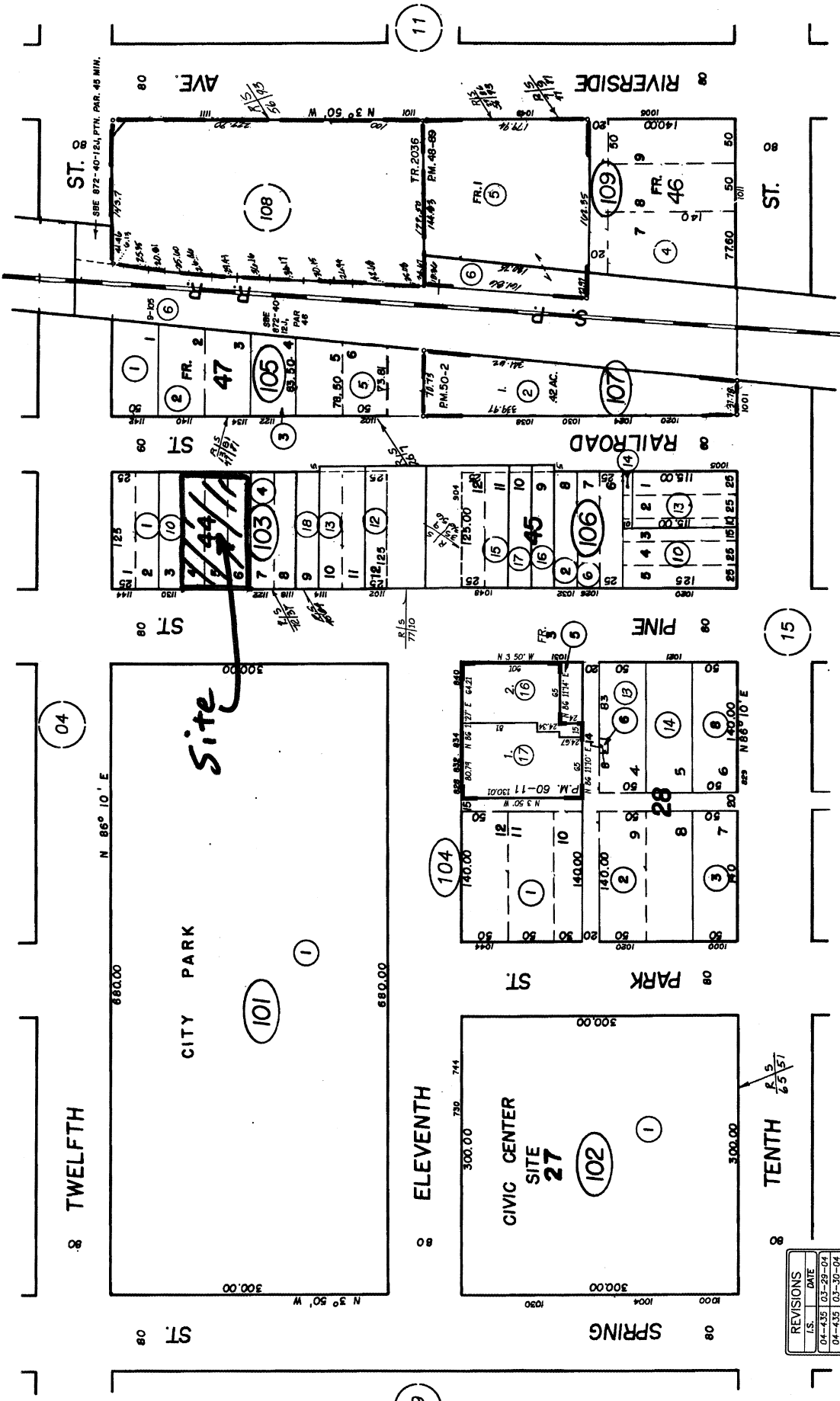
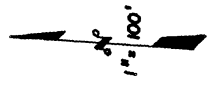
Options: After consideration of all public testimony, that the Planning Commission considers the following options:

- a.
 1. Adopt a Resolution approving a Mitigated Negative Declaration for the project;
 2. Adopt a Resolution adopting PD 08-005, subject to site specific and standard conditions of approval;
- b. Amend, modify or reject the foregoing option.

Attachments:

1. Vicinity Map
2. Mission Statement
3. City Engineer Memo
4. Resolution approving a Mitigated Negative Declaration
5. Resolution approving PD 08-005
6. Newspaper and Mail Notice Affidavits

H:PD/PD08-005/Studios/Staff Report



REVISIONS	DATE
04-435	03-29-04
04-435	03-30-04

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 THIS MAP IS PREPARED FOR
 09-29-04
 ASSESSMENT PURPOSES ONLY.

CITY OF PASO ROBLES, R.M. Bk.A , Pg. 169

CITY OF PASO ROBLES
 ASSESSOR'S MAP COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 009 PAGE 10

Attachment 1
Vicinity Map
 PD 08-005
 (Studios on the Park)



Paso Robles

MAR 06 2008

Planning Division

Mission Statement

Studios on the Park, Inc. is a nonprofit organization that supports the visual arts (fine arts & fine crafts) from the diverse communities of San Luis Obispo County by exhibiting artists' work in an 18,000 sq. ft. facility in downtown Paso Robles. Studios on the Park, Inc. provides space for exhibitions, working studios, galleries of non profit organizations, and classes for all ages.

The premiere location on the city park in Paso Robles offers the public an opportunity to easily visit studios, observe artists at work, learn about various processes of painting, printmaking, ceramics, jewelry, sculpture, photography and other media in short, to experience the visual arts in a relaxed and friendly atmosphere.

Inspiring Exhibitions (in the Atrium)

Artists of San Luis Obispo County

Art of California

Art by Students of San Luis Obispo County

Engaging Activities

Art classes for adults and children will be offered through the San Luis Obispo Art Center and through Studios on the Park.

Evening Lectures on the Arts (From art history to individual artists talks)

Docent led tours through the facility with an emphasis on exploring the various mediums.

Weekend Evening Special Events (Wine tasting, small concerts & receptions)

Experiencing the Visual arts in a relaxed and friendly atmosphere

Vision Statement: The purpose of Studios on the Park, Inc. is to establish a vibrant visual arts center of creativity, learning, and interaction in the downtown center.

The Piece that is missing in Paso Robles!

The visual arts are missing here in Paso Robles: Many excellent, professional level artists from the north county operate out of their studios and sell out of state.

Studios on the Park will provide affordable space for working studios & exhibition space.

Attachment 2
Mission Statement
PD 08-005
(Studios on the Park)

ANNE LADDON, EXECUTIVE DIRECTOR
STUDIOS ON THE PARK, INC.
805-441-4422

P.O. BOX 3000, PASO ROBLES, CA 93447 WWW.STUDIOSONTHEPARK.ORG

MEMORANDUM

TO: Darren Nash

FROM: John Falkenstien

**SUBJECT: PD 08-005, Studios on the Park
1130 Pine Street**

DATE: August 29, 2008

Pine and Railroad Streets are classified as local streets in the downtown area.

Water is available to the project from an 12-inch water main in Pine Street and a 6-inch water main in Railroad Street. There are currently no fire hydrants in this block of Railroad Street.

Sewer is available to the project from a 6-inch sewer line in Railroad Street.

Recommended Site Specific Conditions

Prior to occupancy, the applicant shall complete Pine and Railroad Street improvements in accordance with plans approved by the City Engineer. A schematic plan for decorative street lights and tree wells shall be developed for both Pine and Railroad Streets. Street trees and decorative street lights will be added to the frontage of the project based upon the schematic plan and the direction of the City Engineer.

Prior to issuance of a building permit, a fire hydrant shall be installed on Railroad Street.

All utilities to the project shall be placed underground. Prior to occupancy, the applicant shall enter into an agreement not to protest the formation of an assessment district, or other financing plan, to relocate all utility lines in the block underground.

Attachment 3
City Engineer Memo
PD 08-005
(Studios on the Park)

RESOLUTION NO:

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING A MITIGATED NEGATIVE DECLARATION FOR
PLANNED DEVELOPMENT 08-005
(STUDIOS ON THE PARK)

APN: 009-103-010

WHEREAS, Section 21.16A, Planned Development District, projects located in the PD Overlay district are subject to Planning Commission approval of a development plan (PD); and

WHEREAS, Planned Development 08-005 has been filed by Larry Gabriel on behalf of Anne Laddon and Studios on the Park to renovate an existing building to accommodate an art studio; and

WHEREAS, the project is located at 1130 Pine Street; and

WHEREAS, the 9,375 square foot site is zoned C3-PD (Commercial / Light-Industrial, Planned Development Overlay), and has a General Plan designation of CC, (Community Commercial); and

WHEREAS, an Initial Study was prepared for this project (attached as Exhibit A) which concludes and proposes that a Mitigated Negative Declaration be approved; and

WHEREAS, Public Notice of the proposed Mitigated Negative Declaration was given as required by Section 21092 of the Public Resources Code; and

WHEREAS, at its September 9, 2008 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposal including Planned Development 08-005; and

WHEREAS, based on the information contained in the Initial Study prepared for this project and testimony received as a result of the public notice, the Planning Commission finds no substantial evidence that there would be a significant impact on the environment based on the attached Mitigation Agreement and mitigation measures described in the initial study and contained in the resolution approving PD 08-005 as site specific conditions summarized below.

Topic of Mitigation	Condition #
Cultural Resources – Historic Resources	9

NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of El Paso de Robles, based on its independent judgment, to approve a Mitigated Negative Declaration for Planned Development 08-005 in accordance with the California Environmental Quality Act.

PASSED AND ADOPTED THIS 9th day of September 9, 2008, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN ED STEINBECK

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

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**CITY OF PASO ROBLES – PLANNING DIVISION
INITIAL STUDY**

1. GENERAL PROJECT INFORMATION

PROJECT TITLE: Studios on the Park – PD 08-005

LEAD AGENCY: City of Paso Robles - 1000 Spring Street, Paso Robles, CA 93446

Contact: Darren Nash, Associate Planner
Telephone: (805) 237-3970

PROJECT LOCATION: 1130 Pine Street (APN 009-103-010)

PROJECT PROPONENT: Applicant: Anne Laddon
P.O. Box 2049, Paso Robles, CA 93447

**LEAD AGENCY CONTACT/
INITIAL STUDY PREPARED BY:** Darren Nash, Associate Planner

Telephone: (805) 237-3970
Facsimile: (805) 237-3904
E-Mail: dnash@prcity.com

GENERAL PLAN DESIGNATION: CC (Community Commercial)

ZONING: C3-PD (Commercial/Light Industrial, Planned Development Overlay)

2. PROJECT DESCRIPTION

The Studios on the Park project consists of a Development Plan application (PD 08-005) to renovate and add a second floor to the existing building located at 1130 Pine Street. When completed, the Studios on the Park would be a non-profit art studio.

3. OTHER AGENCIES WHOSE APPROVAL MAY BE REQUIRED (For example, issuance of permits, financing approval, or participation agreement):

None.

4. EARLIER ENVIRONMENTAL ANALYSIS AND RELATED ENVIRONMENTAL DOCUMENTATION:

This Initial Study incorporates by reference the City of El Paso de Robles General Plan Environmental Impact Report (EIR) (SCH#2003011123).

5. CONTEXT OF ENVIRONMENTAL ANALYSIS FOR THE PROJECT:

This Initial Study relies on expert opinion supported by the facts, technical studies, and technical appendices of the City of El Paso de Robles General Plan EIR. These documents are incorporated herein by reference. They provide substantial evidence to document the basis upon which the City has arrived at its environmental determination regarding various resources.

6. PURPOSES OF AN INITIAL STUDY

The purposes of an Initial Study for a Development Project Application are:

- A. To provide the City with sufficient information and analysis to use as the basis for deciding whether to prepare an Environmental Impact Report, a Mitigated Negative Declaration, or a Negative Declaration for a site specific development project proposal;
- B. To enable the Applicant of a site specific development project proposal or the City as the lead agency to modify a project, mitigating adverse impacts before an Environmental Impact Report is required to be prepared, thereby enabling the proposed Project to qualify for issuance of a Negative Declaration or a Mitigated Negative Declaration;
- C. To facilitate environmental assessment early in the design of a project;
- D. To eliminate unnecessary EIRs;
- E. To explain the reasons for determining that potentially significant effects would not be significant;
- F. To determine if a previously prepared EIR could be used for the project;
- G. To assist in the preparation of an Environmental Impact Report if one is required; and
- H. To provide documentation of the factual basis for the finding of no significant effect as set forth in a Negative Declaration or a Mitigated Negative Declaration prepared for the a project.

7. EXPLANATION OF ANSWERS FOUND ON THE ENVIRONMENTAL CHECKLIST FORM

A. Scope of Environmental Review

This Initial Study evaluates potential impacts identified in the following checklist.

B. Evaluation of Environmental Impacts

1. A brief explanation is required for all answers to the questions presented on the following Environmental Checklist Form, except where the answer is that the proposed project will have “No Impact.” The “No Impact” answers are to be adequately supported by the information sources cited in the parentheses following each question or as otherwise explained in the introductory remarks. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to the project. A “No Impact” answer should be explained where it is based on project-specific factors and/or general standards. The basis for the “No Impact” answers on the following Environmental Checklist Form is explained in further detail in this Initial Study in Section 9 (Earlier Environmental Analysis and Related Environmental Documentation) and Section 10 (Context of Environmental Analysis for the Project).
2. All answers on the following Environmental Checklist Form must take into account the whole action involved with the project, including implementation. Answers should address off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. “Potentially Significant Impact” is appropriate, if an effect is significant or potentially significant, or if the lead agency lacks information to make a finding of insignificance. If there are one or more “Potentially Significant Impact” entries when the determination is made, preparation of an Environmental Impact Report is warranted.

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4. Potentially Significant Impact Unless Mitigated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level. Mitigation Measures from Section 9 (Earlier Environmental Analysis and Related Environmental Documentation) may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). See Section 4 (Earlier Environmental Analysis and Related Environmental Documentation) and Section 11 (Earlier Analysis and Background Materials) of this Initial Study.
6. References to the information sources for potential impacts (e.g., general plans, zoning ordinances) have been incorporated into the Environmental Checklist Form. See Section 11 (Earlier Analysis and Related Environmental Documentation). Other sources used or individuals contacted are cited where appropriate.
7. The following Environmental Checklist Form generally is the same as the one contained in Title 14, California Code of Regulations; with some modifications to reflect the City’s needs and requirements.
8. Standard Conditions of Approval: The City imposes standard conditions of approval on Projects. These conditions are considered to be components of and/or modifications to the Project and some reduce or minimize environmental impacts to a level of insignificance. Because they are considered part of the Project, they have not been identified as mitigation measures. For the readers’ information, the standard conditions identified in this Initial Study are available for review at the Community Development Department.
9. Certification Statement: The statements made in this Initial Study and those made in the documents referenced herein present the data and information that are required to satisfy the provisions of the California Environmental Quality Act (CEQA) – Statutes and Guidelines, as well as the City’s Procedures for Implementing CEQA. Further, the facts, statements, information, and analysis presented are true and correct in accordance with standard business practices of qualified professionals with expertise in the development review process, including building, planning, and engineering.

8. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The proposed project may potentially affect the environmental factors checked below, and may involve at least one impact that is a “Potentially Significant Impact” or is “Potentially Significant Unless Mitigated,” if so indicated on the following Environmental Checklist Form (Pages 8 to.15)

- | | | |
|---|---|--|
| <input type="checkbox"/> Land Use & Planning | <input type="checkbox"/> Transportation/Circulation | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Population & Housing | <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Utilities & Service Systems |
| <input type="checkbox"/> Geological Problems | <input type="checkbox"/> Energy & Mineral Resources | <input type="checkbox"/> Aesthetics |
| <input type="checkbox"/> Water | <input type="checkbox"/> Hazards | <input checked="" type="checkbox"/> Cultural Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Noise | <input type="checkbox"/> Recreation |
| | <input type="checkbox"/> Mandatory Findings of Significance | |

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9. ENVIRONMENTAL DETERMINATION: On the basis of this initial evaluation: I find that:

The proposed project could not have a significant effect on the environment; and, therefore, a **NEGATIVE DECLARATION** will be prepared.

Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. Therefore, a **MITIGATED NEGATIVE DECLARATION** will be prepared.

The proposed project may have a significant effect on the environment; and, therefore an **ENVIRONMENTAL IMPACT REPORT** is required.

The proposed project may have a significant effect(s) on the environment, but one or more effects (1) have been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) have been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a “potentially significant impact” or is “potentially significant unless mitigated.”

Therefore, an **ENVIRONMENTAL IMPACT REPORT** is required, but it will analyze only the effect or effects that remain to be addressed.

Signature: _____

Date: _____

August 19, 2008

Darren Nash, Associate Planner

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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I. LAND USE AND PLANNING. Would the Proposal:

- a) Conflict with general plan designation or zoning?
(Sources: 1 & 8)

Discussion: The proposed project will not conflict with the General Plan or zoning district. Art studios (trade schools & artisans) are a permitted use in the C3-PD zoning district and CC land use category.

- b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?
(Sources: 1 & 3)

Discussion: The proposed project complies with the EIR certified for the City General Plan Update, 2003 and other adopted environmental policies that apply to this property.

- c) Be incompatible with existing land uses in the vicinity?
(Sources: 1 & 3)

Discussion: An art studio in the downtown area will provide a unique open studio environment for both the artist working in the studio and for community residents to visit and participate in. The art studio would not seem to be an incompatible use in the downtown area.

- d) Affect agricultural resources or operations (e.g., impacts to soils or farmlands, or impacts from incompatible uses)?

Discussion: The project site is an urban infill property with no agricultural uses, resources or operations on near the property.

- e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?
(Sources: 1 & 3)

Discussion: The project will not disrupt or divide a physical arrangement of an established community.

II. POPULATION AND HOUSING. Would the proposal:

- a) Cumulatively exceed official regional or local population projections? (Sources: 1 & 3)

Discussion: The project will not be residential and therefore will not exceed regional or local population projections.

- b) Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)? (Sources: 1 & 3)

Discussion: The project will not induce growth.

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Displace existing housing, especially affordable housing? (Sources: 1, 3, & 5)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion: The existing building is currently vacant and has not been used as residential, therefore, the development of the Studios project will not displace existing housing.

III. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:

a) Fault rupture? (Sources: 1, 2, & 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The potential for and mitigation of impacts that may result from fault rupture in the project area are identified and addressed in the General Plan EIR, pg. 4.5-8. There are two known fault zones on either side of this valley. The Rinconada Fault system runs on the west side of the valley. The San Andreas Fault is on the east side of the valley and runs through the community of Parkfield east of Paso Robles. The City of Paso Robles recognizes these geologic influences in the application of the Uniform Building Code to all new development within the City. Review of available information and examinations indicate that neither of these faults is active with respect to ground rupture in Paso Robles. Soils reports and structural engineering in accordance with local seismic influences would be applied in conjunction with any new development proposal. Based on standard conditions of approval, the potential for fault rupture and exposure of persons or property to seismic hazards is not considered significant. In addition, per requirements of the Alquist-Priolo Earthquake Fault Zones, only structures for human habitation need to be setback a minimum of 50 feet of a known active trace fault.

b) Seismic ground shaking? (Sources: 1, 2, & 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The City is located within an active earthquake area that could experience seismic ground shaking from the Rinconada and San Andreas Faults. The proposed structure will be constructed to current UBC codes. The General Plan EIR identified impacts resulting from ground shaking as less than significant and provided mitigation measures that will be incorporated into the design of this project including adequate structural design and not constructing over active or potentially active faults.

c) Seismic ground failure, including liquefaction? (Sources: 1, 2 & 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: Per the General Plan EIR, the project site is located in an area with soil conditions that have a potential for liquefaction or other type of ground failure due to seismic events due to soil conditions. The EIR identifies measures to reduce this potential impact, which will be incorporated into this project. This includes a requirement to conduct a site-specific analysis of liquefaction potential. Based on analysis results, the project design and construction will include specific design requirements to reduce the potential impacts on structures due to liquefaction to a less than significant level.

d) Seiche, tsunami, or volcanic hazard? (Sources: 1, 2, & 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Formatted: Bullets and Numbering
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e) Landslides or Mudflows? (Sources: 1, 2, & 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Formatted: Bullets and Numbering
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Discussion: d. and e. The project site is not located near bodies of water or volcanic hazards, nor is the site located in an area subject to landslides or mudflows.

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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- f) Erosion, changes in topography or unstable soil conditions from excavation, grading, or fill? (Sources: 1, 2, 3, & 4)

Discussion: Per the General Plan EIR the soil condition is not erosive or otherwise unstable. As such, no significant impacts are anticipated.

- g) Subsidence of the land? (Sources: 1, 2, & 3)

Discussion: See Item c.

- h) Expansive soils? (Sources: 4)

Discussion: Not applicable.

- i) Unique geologic or physical features? (Sources: 1 & 3)

Discussion: There are no unique geologic or physical features on or near the project site.

IV. WATER. Would the proposal result in:

- a) Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff? (Sources: 1, 3, & 7)

- b) Exposure of people or property to water related hazards such as flooding? (Sources: 1, 3, & 7)

- c) Discharge into surface waters or other alteration of surface water quality (e.g., temperature, dissolved oxygen or turbidity)? (Sources: 1, 3, & 7)

- d) Changes in the amount of surface water in any water body? (Sources: 1, 3, & 7)

- e) Changes in currents, or the course or direction of water movement? (Sources: 1, 3, & 7)

- f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability? (Sources: 1, 3, & 7)

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10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
g) Altered direction or rate of flow of groundwater? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Impacts to groundwater quality? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Substantial reduction in the amount of groundwater otherwise available for public water supplies? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion: a-i

The Studios project consists of renovating and reusing an existing building. With the development of the project, the building will be built out to the property lines (zero lot line) just as the existing building is. There will not be any ground surface remaining, all water collected on the roof system will be collected and piped to the storm drains in a manner approved by the Building Official and City Engineer.

Besides sinks and restrooms, this building will not utilize ground water any more than any other commercial building or its size.

With the submittal of construction drawings to the building dept., it will be required that an Industrial Waste Discharge Permit be filed to insure that there are no un-wanted discharges into the City's sewer or storm drain system.

The building will not have a significant impact to water run-off, flooding, water discharge, and ground water (quantity or quality).

V. AIR QUALITY. Would the proposal:

a) Violate any air quality standard or contribute to an existing or projected air quality violation? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The partial demolition of the structure will need to obtain applicable permits and comply with site disturbance regulations from the San Luis Obispo County Air Pollution Control District in compliance with the Districts demo regulations per the adopted Clean Air Plan prior to commencing activities. Therefore, impacts to air quality from this project will be less than significant.

b) Expose sensitive receptors to pollutants? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: There are no sensitive receptors such as schools, hospitals, etc. within the near vicinity that could be impacted by this project.

c) Alter air movement, moisture, or temperature? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: This project does not have the potential to significantly alter air movement, moisture, or temperature.

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Create objectionable odors?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion: This project does not have the potential to create objectionable odors.

VI. TRANSPORTATION/CIRCULATION. Would the proposal result in:

a) Increased vehicle trips or traffic congestion? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: Since the project complies with the general plan and zoning designations, and since it is re-use of an existing building it is not anticipated to be a significant impact.

b) Hazards to safety from design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The proposed project does not include road improvements that may result in safety hazards or in incompatible uses.

c) Inadequate emergency access or inadequate access to nearby uses? (Sources: 1, 3, & 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project is adequately served by public streets for emergency services.

d) Insufficient parking capacity on-site or off-site? (Sources: 1, 3, 7, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project is located in the downtown parking district and has the ability to pay in-lieu fees for parking spaces required with the incremental increase in building square footage. With the payment of the necessary fees, the project would meet the zoning code requirements for parking, and therefore not be a significant impact.

e) Hazards or barriers for pedestrians or bicyclists? (Source: 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project does not have hazards or barriers for pedestrians or bicyclists.

f) Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (Sources: 1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project would not conflict with or otherwise affect adopted policies supporting alternative transportation.

g) Rail, waterborne or air traffic impacts?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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Discussion: The project could not affect rail, waterborne or air traffic.

BIOLOGICAL RESOURCES. Would the proposal result in impacts to:

Endangered, threatened or rare species or their habitats (including but not limited to: plants, fish, insects, animals, and birds)?

Discussion: There are no endangered, threatened or rare species or their habitats located on the project site. Thus, there could not be potential impacts to endangered, threatened or rare species or their habitats.

b) Locally designated species (e.g., heritage trees)?

Discussion: There are no locally designated species, including oak trees on the project site.

c) Locally designated natural communities (e.g., oak forest, coastal habitat, etc.)?

Discussion: See item b. above.

d) Wetland habitat (e.g., marsh, riparian and vernal pool)?

Discussion: There are no wetland habitats on or near the project site.

e) Wildlife dispersal or migration corridors?

Discussion: The site is not part of a wildlife dispersal or migration corridor.

VIII. ENERGY AND MINERAL RESOURCES. Would the proposal:

a) Conflict with adopted energy conservation plans? (Sources: 1 & 7)

Discussion: This project could not conflict with adopted energy conservation plans.

b) Use non-renewable resources in a wasteful and inefficient manner? (Sources: 1 & 7)

Discussion: The project will not use non-renewable resource in a wasteful and inefficient manner.

c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State? (Sources: 1 & 7)

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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Discussion: The project is not located in an area of a known mineral resources that would be of future value to the region and the residents of the State.

IX. HAZARDS. Would the proposal involve:

- a) A risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?

Discussion: The project will not result in a risk of accidental explosion or release of hazardous substances since demolition project do not generally uses these types of substances. The applicant will need to comply with SLOAPCD regulations regarding asbestos removal should this material be encountered in the structures. Therefore, impacts resulting from potential release of hazardous materials will be less than significant.

- b) Possible interference with an emergency response plan or emergency evacuation plan? (Sources: 1 & 7)

Discussion: The project will not interfere with an emergency response plan or emergency evacuation plan since it is not a designated emergency response location to be used for staging or other uses in an emergency.

- c) The creation of any health hazard or potential hazards?

Discussion: see a. above.

- d) Increased fire hazard in areas with flammable brush, grass, or trees?

Discussion: The project site is not located in an area with the potential for increased fire hazards.

X. NOISE. Would the proposal result in:

- a) Increases in existing noise levels? (Sources: 1, 7, & 8)

Discussion: The project will not likely result in a significant increase in operational noise levels. It may result in short-term construction noise. However, construction noise will be limited to specific daytime hours per city regulations.

- b) Exposure of people to severe noise levels? (Source: 3)

The project site is not located in the vicinity where it would expose people to severe noise levels.

XI. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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any of the following areas:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Fire protection? (Sources: 1, 3, 6, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Police Protection? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Schools? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Maintenance of public facilities, including roads?
(Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Other governmental services? (Sources: 1,3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion: a.-e. The project applicant will be required to pay development impact fees as established by the city per AB 1600 to mitigate impacts to public services as applicable.

XII. UTILITIES AND SERVICE SYSTEMS. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Power or natural gas? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Communication systems? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Local or regional water treatment or distribution facilities?
(Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Sewer or septic tanks? (Sources: 1, 3, 7, & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Storm water drainage? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Solid waste disposal? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| g) Local or regional water supplies? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion: a.-g. The project will not result in the need for new systems or supplies, or result in substantial alterations to utilities and service systems. Solid waste will be disposed of and taken to the local land fills and meet the criteria outlined by the Air Pollution Control District (APCD).

XIII. AESTHETICS. Would the proposal:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Affect a scenic vista or scenic highway? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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Discussion: The project is not located in a scenic vista or scenic highway area.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Have a demonstrable negative aesthetic effect?
(Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: This project will result in a more positive effect since it will provide expansion and reuse in a currently vacant building that needs to be brought into compliance with current codes. The review of the development plan by the Planning Commission will insure that the building is consistent with the downtown guidelines and have a positive aesthetic effect to the downtown.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Create light or glare? (Sources: 1, 3, 7, & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: Through the review of the construction drawings, Staff will insure that any exterior lights are appropriately shielded.

XIV. CULTURAL RESOURCES. Would the proposal:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Disturb paleontological resources? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Disturb archaeological resources? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion: a.-b. The project site is not located in an area with known paleontological or archaeological resources. If these types of resources are found during grading and excavation, appropriate procedures will be followed including halting activities and contacting the County Coroner, and follow standard mitigation procedures.

- | | | | | |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| c) Affect historical resources? (Sources: 1, 3, & 7) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The subject property is not currently listed as a potential historical resource by the City's current Historical Resource Inventory. However, subsequent analysis by the historians assisting the City in the update of the City's inventory has identified the building as meeting CEQA's threshold of historic significance. The circumstances that make this particular building significant relate its origin as 1930's Packard/Hudson showroom. The City of Paso Robles, being located between the metropolitan areas of Los Angeles and San Francisco, had its commercial core built adjacent to the State Highway which is now Spring Street. Many auto oriented uses, such as motor hotels, service stations, etc. were drawn to the downtown and Spring Street corridor.

Relocation of the State Highway, changes in transportation technology, and general redevelopment of our downtown core have all contributed to the loss of many of these representative examples of our auto orientation businesses and early 1900's architecture. Because of its construction, this building has survived changes in architectural character of our downtown. Character defining features of the building that contribute to its historical significance include:

- Pine Street Storefront façade
- Board form concrete walls and "pebble" stucco
- Interior open wooden truss system
- Blade sign
- Scored concrete flooring
- Hip roof design and profile

10 Environmental Checklist Form

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Potentially Significant Less Than Significant Impact	No Impact
ISSUES (and Supporting Information Sources):				

The project involves retaining historic building elements, modifying the Pine Street entry to meet the tenant needs, and expanding the building to include a new Railroad Street façade as well as second and third story space. The Secretary of the Interior Standards for the Treatment of Historic Buildings allow for modification of historic resources. However, in order to mitigate detrimental changes to the historical significance of the building, key building features need to be preserved and maintained in order to protect and not overshadow the elements significance. To that end, the following mitigation measures are required:

1. The Pine Street façade shall remain including the pebble texture. Changes in building entry features and front windows shall be subject to approval of the Community Development Director. Window sill height shall be compatible with downtown storefront design and close to 24 inches high.
2. The second floor shall be set back a minimum of 14 feet from the front façade. The third floor shall be limited to the rear half of the building.
3. The new roof shall maintain similar angles and gable design.
4. The side concrete walls shall remain in place.
5. The scored concrete floor shall remain and new flooring at the rear of the first floor shall be compatible.
6. Photo documentation of the building’s interior shall be completed prior to construction. The wooden truss system can be removed due to structural issues. However, the project shall include interior project features such as decorative trim, stairways, railing, etc. that emulates the truss pattern of the original roof and re-uses it in an interpretive manner.
7. Keep interior ceilings high and open to the maximum extent possible
8. The existing blade sign shall be incorporated into the proposed design

d) Have the potential to cause a physical change which would affect unique ethnic cultural values? (Sources: 1, 3, & 7)

Discussion: See c. above.

e) Restrict existing religious or sacred uses within the potential impact area? (Sources: 1, 3, & 7)

Discussion: Discussion: There are no known religious or sacred uses on or near the project site.

XV.RECREATION. Would the proposal:

a) Increase the demand for neighborhood or regional parks or other recreational facilities? (Sources: 1, 3, & 7)

Discussion: The project will not significantly affect the demand for parks and recreational facilities.

b) Affect existing recreational opportunities? (Sources 1, 3, & 7)

Discussion: The project will not affect existing recreational opportunities.

XVI.MANDATORY FINDINGS OF SIGNIFICANCE.

⊕ Does the project have the potential to degrade the quality of the

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10 Environmental Checklist Form

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Sources: 1 & 3)</p> <p><i>Discussion: The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Does the project have the potential to achieve short-term, to the disadvantage of long-term environmental goals? (Sources: 1 & 3)</p> <p><i>Discussion: The project will not likely have a potential to achieve short-term, to the disadvantage of long-term environmental goals.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) (Sources: 1 & 3)</p> <p><i>Discussion: The project will not result in significant cumulative impacts.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly? (Sources: 1 & 3)</p> <p><i>Discussion: The project will not result in substantial adverse environmental impacts on human beings, either directly or indirectly.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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11. EARLIER ANALYSIS AND BACKGROUND MATERIALS

Earlier analyses may be used where, pursuant to tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D). The earlier documents that have been used in this Initial Study are listed below.

Reference Number	Document Title	Available for Review At
1	City of Paso Robles General Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
2	Seismic Safety Element for City of Paso Robles	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
3	Final Environmental Impact Report City of Paso Robles General Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
4	Soil Survey of San Luis Obispo County, California Paso Robles Area	USDA-NRCS, 65 Main Street-Suite 108 Templeton, CA 93465
5	Uniform Building Code	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
6	City of Paso Robles Standard Conditions of Approval For New Development	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
7	City of Paso Robles Zoning Code	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
8	City of Paso Robles, Water Master Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
9	City of Paso Robles, Sewer Master Plan	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446
10	Federal Emergency Management Agency Flood Insurance Rate Map	City of Paso Robles Community Development Department 1000 Spring Street, Paso Robles, CA 93446

RESOLUTION NO.:

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES APPROVING
PLANNED DEVELOPMENT 08-005
(STUDIOS ON THE PARK)
APN: 009-103-010

WHEREAS, Section 21.16A, Planned Development District, projects located in the PD Overlay district are subject to Planning Commission approval of a development plan (PD); and

WHEREAS, Planned Development 08-005 has been filed by Larry Gabriel on behalf of Anne Laddon and Studios on the Park to renovate an existing building to accommodate an art studio; and

WHEREAS, the project is located at 1130 Pine Street; and

WHEREAS, the 9,375 square foot site is zoned C3-PD (Commercial / Light-Industrial, Planned Development Overlay), and has a General Plan designation of CC, (Community Commercial); and

WHEREAS, at its September 9, 2008 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposal including Planned Development 08-005 and related applications; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, based on the information and analysis contained in the Initial Study, a determination has been made that the proposed Project qualifies for adoption of a Mitigated Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The proposed Project will not be detrimental to the City's efforts to revitalize Downtown Paso Robles since the Project is consistent with the City's Economic Strategy, by providing an opportunity for merchants to view and purchase specialty items in the historic downtown.
2. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - A. The granting of the Planned Development (PD) will not adversely affect the policies, spirit and intent of the General Plan, the Zoning Ordinance, and the policies and plans of the City. Rather, the PD for the Project implements the City's goals as expressed in its General Plan and its Economic Strategy.

- B. The Project maintains and enhances the significant natural resources on the site. This has been accomplished through the enhanced architecture and incorporation of historic elements from the original building.
- C. The Project is designed to be sensitive to, and blend in with, the character of the site and surrounding area.
- D. The Project is consistent with the purpose and intent of the Planned Development Chapter of the Zoning Ordinance and the Project is not contrary to the public health, safety and welfare.
- E. The Project is consistent with the purpose and intent of the Secretary of Interior standards for historic significance, since the addition incorporates historic elements from the original building.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 08-005, subject to the following conditions:

PLANNING CONDITIONS:

1. The Project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Title Sheet
C	Historical Parts
D	Street Elevations
E	Existing Elevations
F	1 st Floor Plan
G	2 nd Floor Plan
H	3 rd Floor Plan
I	Roof Plan
J	Building Sections
K	Color and Materials Board (on file in the Community Development Dept.)

2. This Development Plan for PD 08-005, allows for development and operation of the 18,522 square foot building consisting of a three level art studio.
3. This project approval shall expire on September 9, 2010 unless a time extension request is filed with the Community Development Department prior to expiration.
4. In conjunction with the submittal of the building plans, exterior light cut-sheets shall be provided for Staff review, to insure adequate shielding.
5. Prior to the issuance of a building permit, the applicant shall pay in-lieu fees for 23 spaces at a rate established by Council Resolution. In-lieu fees are calculated and paid at the time of Building Permit issuance.

6. The applicant shall submit a sign plans to be reviewed by the DRC. The applicant shall obtain required building permits for the signs prior to installation.
7. All roof mounted equipment shall be fully screened.
8. Any equipment such as fire sprinkler back flow devices shall be located inside of the building and not be visible. Verification of location of devices shall be shown on the construction drawings prior to the issuance of a building permit.
9. In conjunction with the construction drawings submittal to the Building Department, the following items shall be included in the building plans and/or materials:
 - The Pine Street façade shall remain including the pebble texture. Changes in building entry features and front windows shall be subject to approval of the Community Development Director. Window sill height shall be compatible with downtown storefront design and close to 24 inches high.
 - The second floor shall be set back a minimum of 14 feet from the front façade. The third floor shall be limited to the rear half of the building.
 - The new roof shall maintain similar angles and gable design.
 - The side concrete walls shall remain in place.
 - The scored concrete floor shall remain and new flooring at the rear of the first floor shall be compatible.
 - Photo documentation of the building's interior shall be completed prior to construction. The wooden truss system can be removed due to structural issues. However, the project shall include interior project features such as decorative trim, stairways, railing, etc. that emulates the truss pattern of the original roof and re-uses it in an interpretive manner.
 - Keep interior ceilings high and open to the maximum extent possible.
 - The existing blade sign shall be incorporated into the proposed design.

EMERGENCY SERVICES SITE SPECIFIC CONDITIONS:

10. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.
11. Provide central station monitored fire sprinkler system for all buildings. Fire sprinkler riser to be located on the interior of the building.
12. Provide fire department connection to the fire sprinkler system on the address side of the building.
13. Provide exterior fire alarm enunciator panel in weather proof enclosure on the address side of the building.
14. Provide Knox Box fire department rapid entry device on address side of the building.

ENGINEERING CONDITIONS

- 15. Prior to occupancy, the applicant shall complete Pine and Railroad Street improvements in accordance with plans approved by the City Engineer. A schematic plan for decorative street lights and tree wells shall be developed for both Pine and Railroad Streets. Street trees and decorative street lights will be added to the frontage of the project based upon the schematic plan and the direction of the City Engineer.
- 16. All utilities to the project shall be placed underground. Prior to occupancy, the applicant shall enter into an agreement not to protest the formation of an assessment district, or other financing plan, to relocate all utility lines in the block underground.
- 17. Prior to issuance of a building permit, a fire hydrant shall be installed on Railroad Street.

PASSED AND ADOPTED THIS 9th day of September, 2008 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN ED STEINBECK

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PLANNED DEVELOPMENT 08-005

APPROVING BODY: PLANNING COMMISSION

DATE OF APPROVAL: SEPTEMBER 9, 2008

APPLICANT: STUDIOS ON THE PARK

LOCATION: 1030 PINE STREET

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on September 9, 2010 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

(Adopted by Planning Commission Resolution 94-038)

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following;
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See site specific conditions in PD 08-005 Resolution
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: Studios PREPARED BY: JF

REPRESENTATIVE: Gabriel CHECKED BY: _____

PROJECT: PD 08-005 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

(Adopted by Planning Commission Resolution 94-038)

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Railroad Street	(See City Engineer Site Specific Condition)	
Street Name	City Standard	Standard Drawing No.
- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;

(Adopted by Planning Commission Resolution 94-038)

- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer

(Adopted by Planning Commission Resolution 94-038)

shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding

surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.

- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.

- 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.

- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

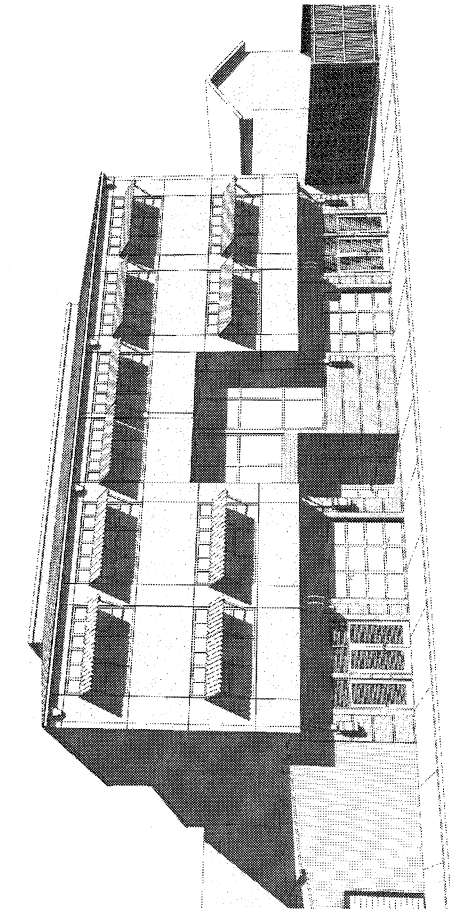
PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

I. GENERAL CONDITIONS

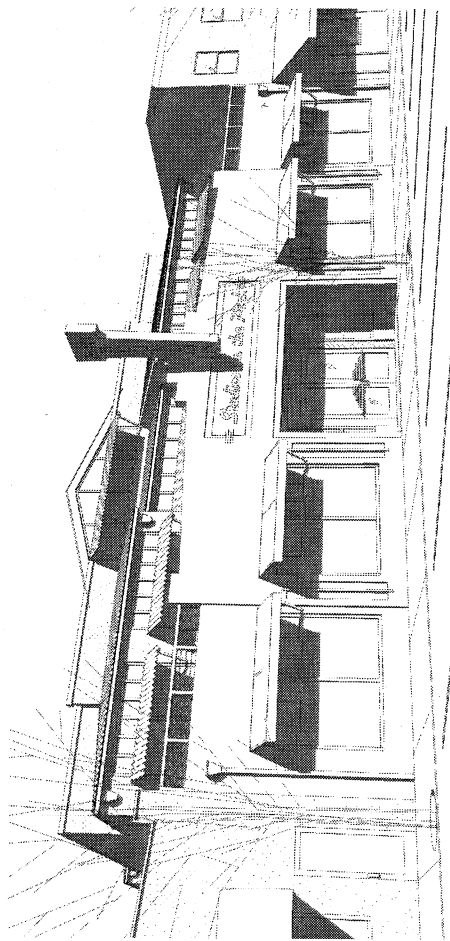
- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)

Studios on the Park



RAILROAD STREET VIEW



PINE STREET VIEW

OWNER
STUDIOS ON THE PARK, Inc.
 P.O. Box 2049
 Paso Robles, CA 93446
Founders: Lubbock
 Elaine Beaman
 Elizabeth Hastings
 James Livingston
 Elizabeth Sarow
 Mark Sarow
Secretary:
 Sasha Irving

PROJECT TEAM
Architect of Record
 Jerry Goodland, Architect
 1806 Pine Street, Suite A
 Paso Robles, CA 93446
 805.659.6525
Presentation and Production Documents
 Outhouse, LLC
Civil Engineer
 McCarthy Engineering, Inc.
Structural Engineer
 Paul Belmont
Taylor-Syfan Consulting Engineers, Inc.
Mechanical and Plumbing Engineering
 David Robinson
Amcore Engineering
Electrical Engineering
 Rey Velezaga
 Teller & Associates, Inc.
General Contractor
 Graydon Martin & Jerry Landis
 Graydon Martin Construction, Inc.

VISION and MISSION STATEMENT

Vision: Studios on the Park is a nonprofit organization dedicated to providing a creative, educational, and transformational experience to enhance understanding and appreciation of the visual arts.
Mission: Studios on the Park realizes its commitment by making the creative process available to the public. Studios engages and inspires the San Luis Obispo County community in a variety of mobile, educational programs for children and adults, and quality exhibitions by regional, national and international artists.

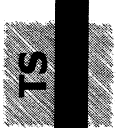
PROJECT DATA
Location: 1130 Pine Street
 Paso Robles, CA 93446
APN: 009-103-010
Zone: C-1
Use: Mercantile
First Floor: 9,921 S.F.
Second Floor: 7,575 S.F.
Third Floor: 3,016 S.F.
Total SF: 19,512 S.F.

DRAWING LIST
 TS TITLE SHEET
 HS HISTORICAL PARTS
 A2.0 EXISTING ELEVATIONS
 A3.0 1st FLOOR PLAN
 A3.1 2nd FLOOR PLAN
 A3.2 3rd FLOOR PLAN
 A3.3 ROOF PLAN
 A4.0 BUILDING SECTIONS



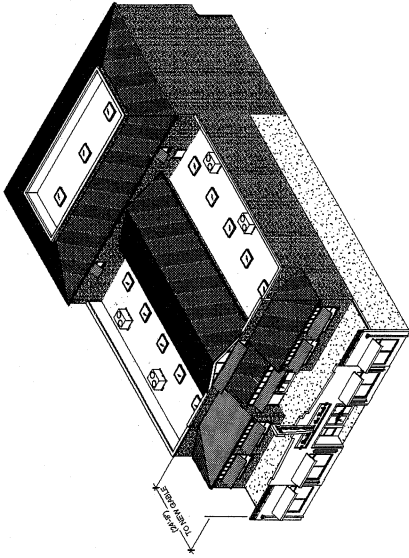
STUDIOS ON THE PARK

Exhibit B
 Title Sheet
 PD 08-005
 (Studios on the Park, Inc.)

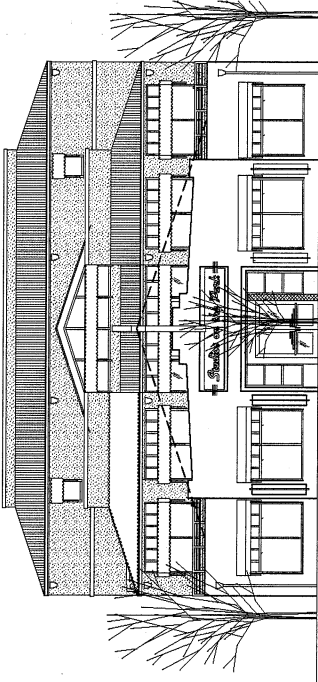


TITLE SHEET

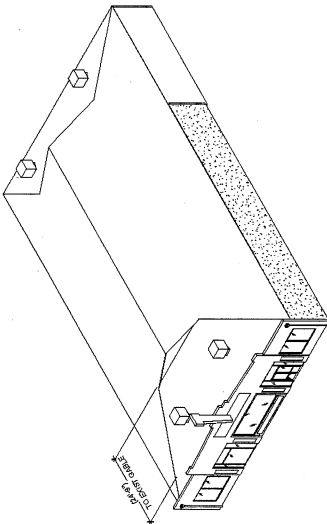
08-29-2008



PROPOSED BUILDING



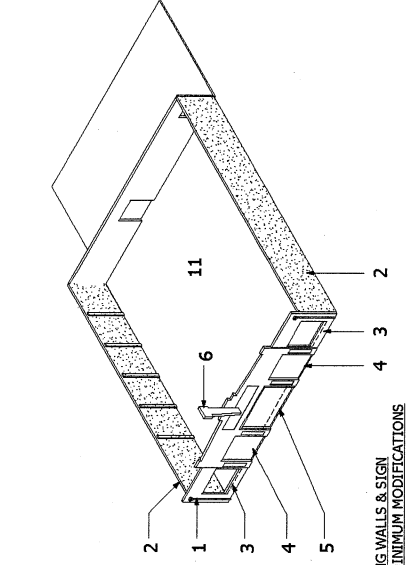
WEST ELEVATION W/ EXISTING ROOF LINE



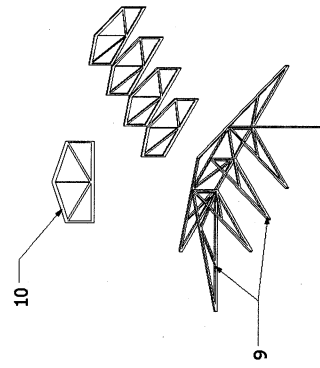
EXISTING BUILDING

CHARACTERISTICS OF THE BUILDING AND PROPOSED CHANGES:

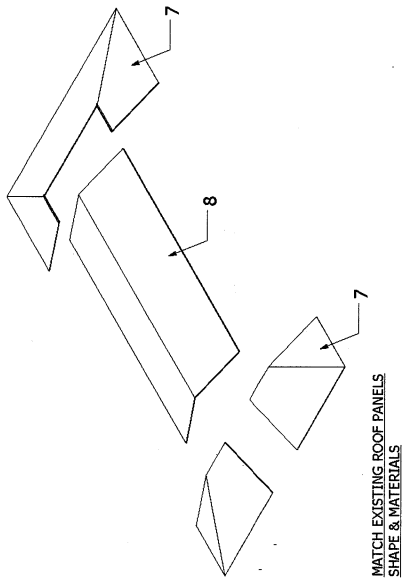
- #1 Existing: No Change. Supplement the existing structure with new steel joists and trusses for proposed second floor.
- #2 Steel Joists: Will remain in place. New structure.
- #3 Trusses: All height to be maintained from 3 feet to 5 feet.
- #4 Existing: All trusses to be replaced with steel joists for roof.
- #5 Proposed Change: Main entry door is moved from #4 to #5. Existing door is to be removed.
- #6 Existing: 1970s era Sign will be retained, mirrored and the lettering changed to the "Art Studios".
- #7 Existing: All trusses to be replaced with steel joists and slope at the same level as the existing trusses. The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor.
- #8 Existing: All trusses to be replaced with steel joists and slope at the same level as the existing trusses. The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor.
- #9 Existing: All trusses to be replaced with steel joists and slope at the same level as the existing trusses. The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor.
- #10 Existing: All trusses to be replaced with steel joists and slope at the same level as the existing trusses. The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor.
- #11 Existing: All trusses to be replaced with steel joists and slope at the same level as the existing trusses. The main entry door will be moved to the second floor. Note: The main entry door will be moved to the second floor.



EXISTING WALLS & SIGN WITH MINIMUM MODIFICATIONS



RE-CREATE EXISTING TRUSSES



MATCH EXISTING ROOF PANELS SHAPE & MATERIALS

HISTORICAL PARTS



08-29-2008

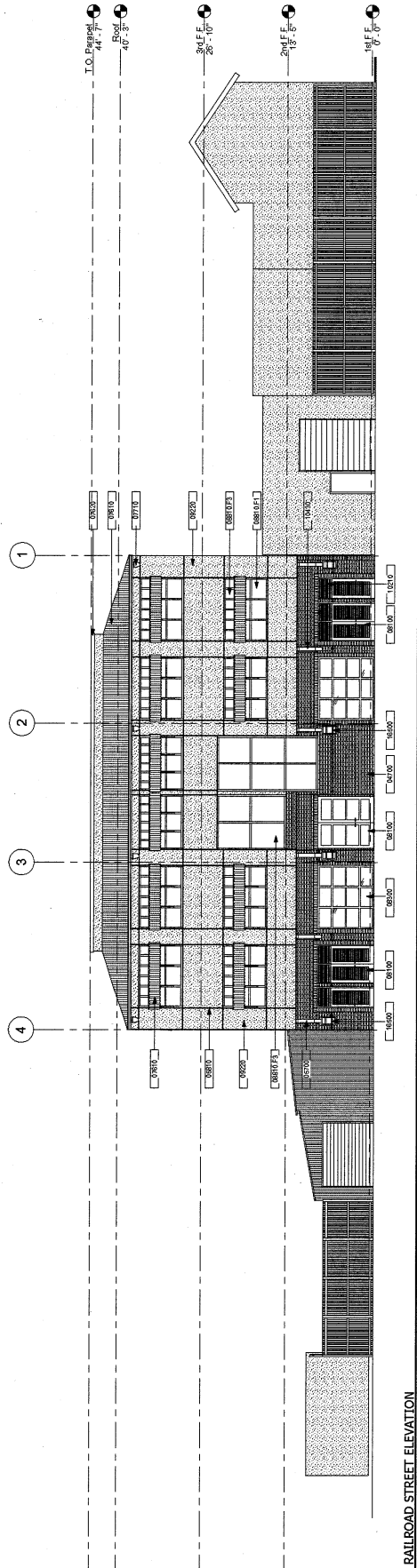
STUDIOS ON THE PARK

Exhibit C

Historical Parts
PD 08-005

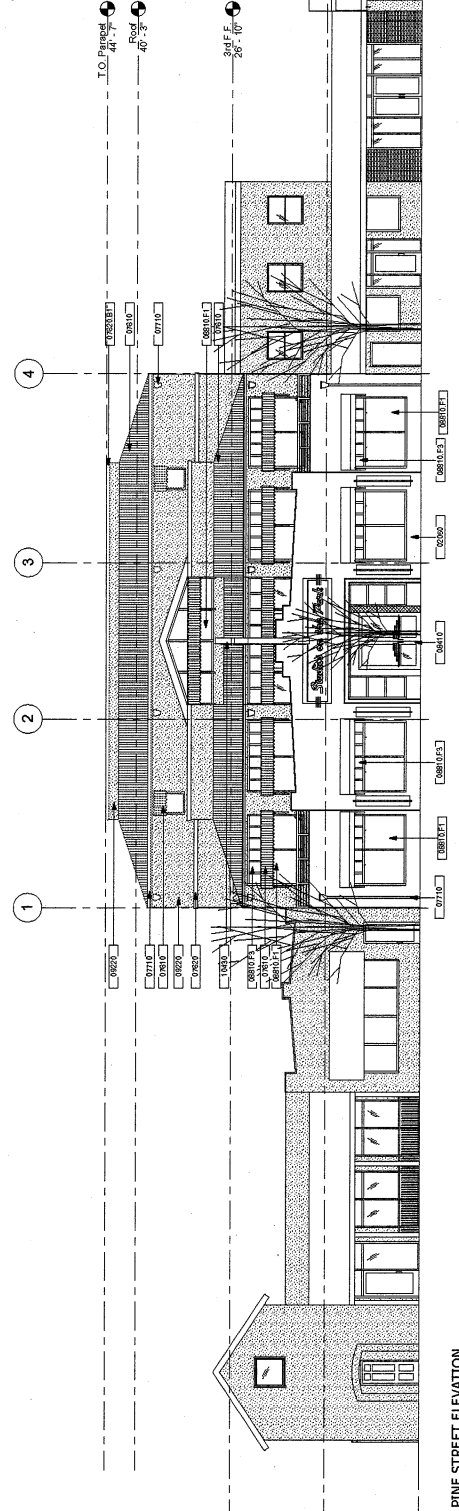
(Studios on the Park, Inc.)





RAILROAD STREET ELEVATION

ELEVATION KEYNOTES	
05200	Basic Site Preparation
05201	Site Preparation
04700	Structural Steel
05700	Ornamental Metal
05810	Expansion Joint Cover Assemblies
07510	Sheet Metal Roofing
07520	Sheet Metal Flashing and Trim
07530	Roofing Cap Flashing
07540	Roofing Flashing
08100	Metal Doors and Frames
08300	Specialty Doors
08410	Metal Framed Storefronts
08510 F1	1" Clear Insulating Glass
08510 F2	1" Clear Insulating Glass
08510 F3	1" Clear Insulating Glass
10210	Formwork
10430	Wall Louvers
10430	Exterior Staircase
16500	Lighting



PINE STREET ELEVATION

STREET ELEVATIONS

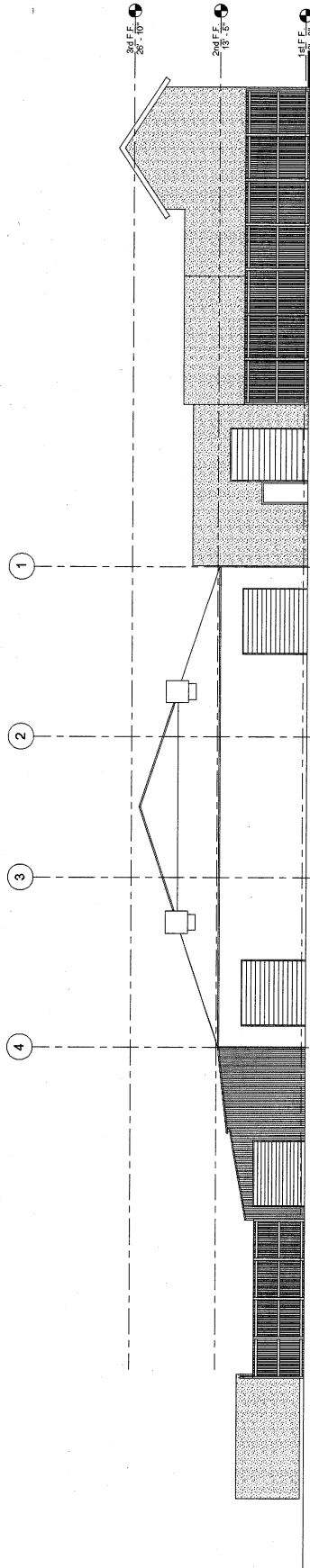
8' 4" 0" 8"
SCALE: 1/8" = 1'-0"
A1.0

08-29-2008

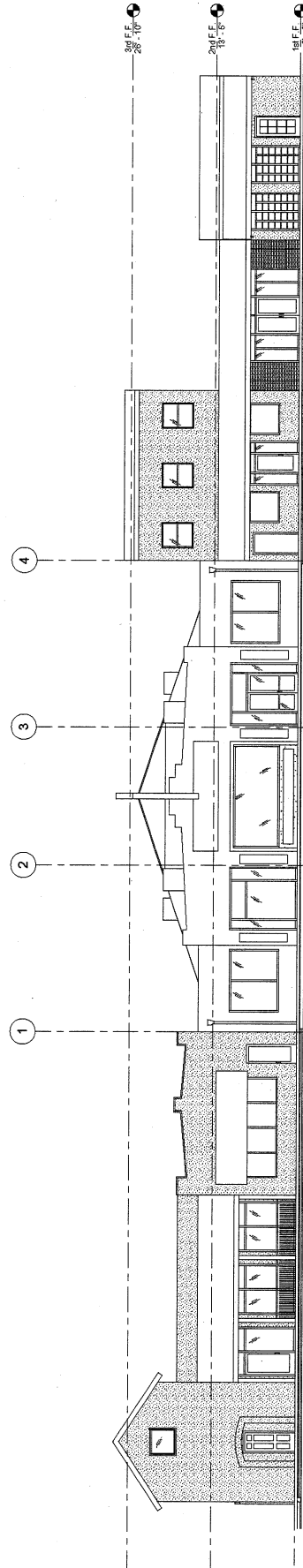
**STUDIOS
ON THE PARK**

Exhibit D
Street Elevations
PD 08-005
(Studios on the Park, Inc.)





EXISTING RAILROAD STREET ELEVATION



EXISTING PINE STREET ELEVATION

EXISTING ELEVATIONS

STUDIOS
ON THE PARK

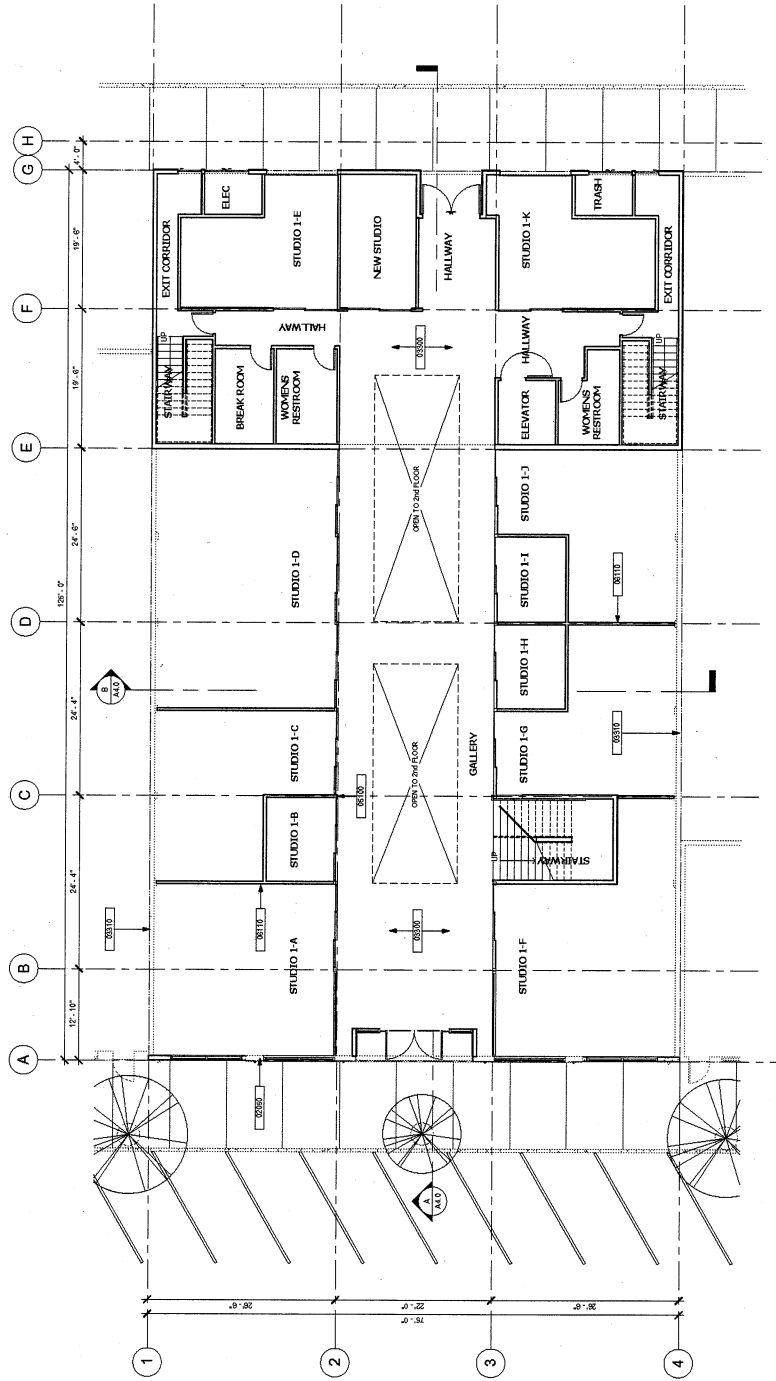
Exhibit E
Existing Elevations
PD 08-005
(Studios on the Park, Inc.)



8' 4' 0'
SCALE: 1/8" = 1'-0"

A2.0

08-29-2008



PLAN KEYNOTES

03050	Rebar Steel Reinforcement
03000	Cast-in-place Concrete
03030	Structural Concrete
05100	Structural Metal Framing
06110	Wood Framing

Level	1st Floor Area	Name	Area
Building Common Area			
1st F.F.	120 SF	BREAK ROOM	120 SF
1st F.F.	150 SF	EXIT CORRIDOR	150 SF
1st F.F.	150 SF	EXIT CORRIDOR	150 SF
1st F.F.	95 SF	HALLWAY	95 SF
1st F.F.	147 SF	HALLWAY	147 SF
1st F.F.	124 SF	HALLWAY	124 SF
1st F.F.	124 SF	WOMENS RESTROOM	124 SF
1st F.F.	1005 SF	WOMENS RESTROOM	1005 SF
Floor Area			
1st F.F.	1735 SF	GALLERY	1735 SF
Major Vertical Penetration			
1st F.F.	82 SF	ELEVATOR	82 SF
1st F.F.	105 SF	STAIRWAY	105 SF
1st F.F.	71 SF	STAIRWAY	71 SF
1st F.F.	71 SF	STAIRWAY	71 SF
Store Area			
1st F.F.	215 SF	NEW STUDIO	215 SF
1st F.F.	656 SF	STUDIO 1-A	656 SF
1st F.F.	122 SF	STUDIO 1-B	122 SF
1st F.F.	157 SF	STUDIO 1-C	157 SF
1st F.F.	165 SF	STUDIO 1-D	165 SF
1st F.F.	169 SF	STUDIO 1-E	169 SF
1st F.F.	517 SF	STUDIO 1-F	517 SF
1st F.F.	125 SF	STUDIO 1-H	125 SF
1st F.F.	125 SF	STUDIO 1-I	125 SF
1st F.F.	125 SF	STUDIO 1-J	125 SF
1st F.F.	125 SF	STUDIO 1-K	125 SF
Grand total: 25			
			8921 SF

NOTE:
Elec. and Trash Areas Not Included in Square Footage Calculation.

Building Common Area	
1st F.F.	ELEC 56 SF
1st F.F.	TRASH 56 SF
Grand total: 2	
111 SF	
111 SF	

1st FLOOR PLAN

8' 4" 0" 8"
SCALE: 1/8" = 1'-0"
A3.0

08-29-2008

STUDIOS ON THE PARK

Exhibit F
1st Floor Plan
PD 08-005
(Studios on the Park, Inc.)



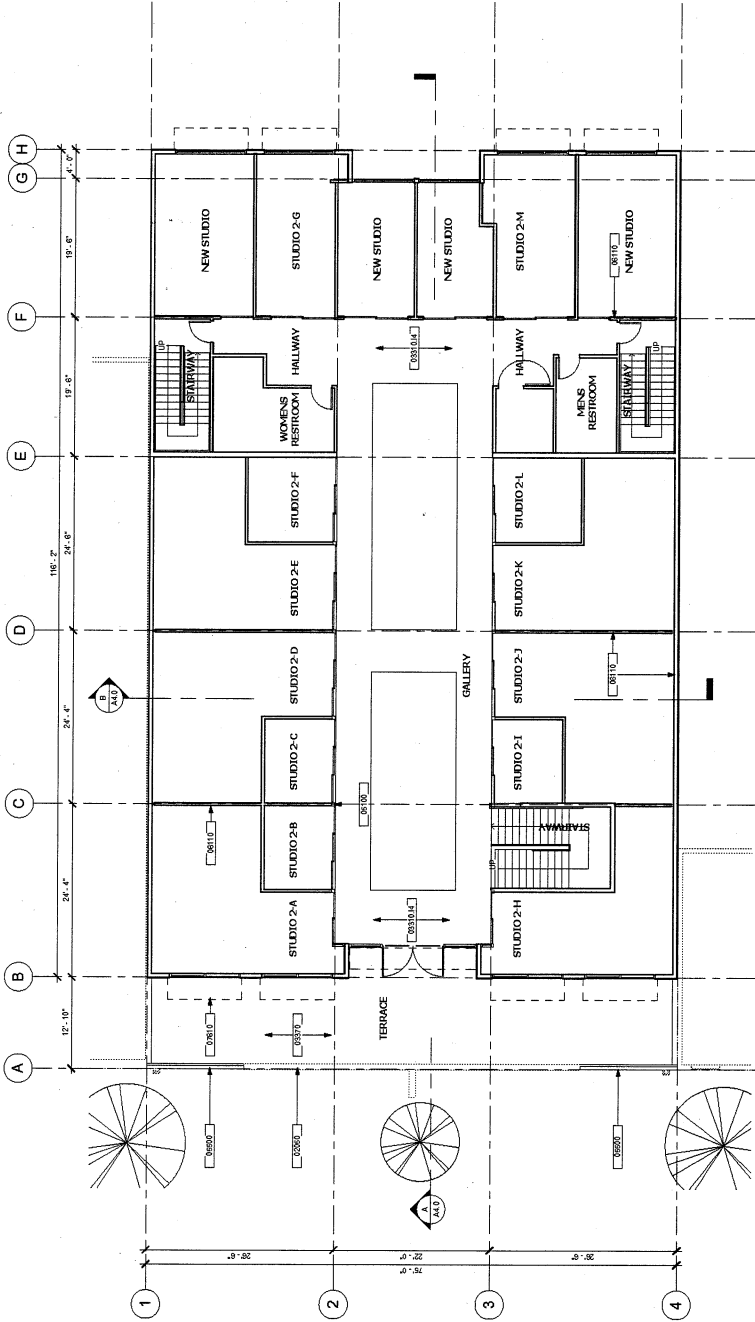
PLAN KEYNOTES

02650	Basic Site Materials and Methods
0310.04	3-1/2" Cast-in-Place Concrete Slab w/Rebar Decking
0510	Structural Steel Decking
0510	Structural Steel Decking
0510	Structural Steel Decking
06110	Wood Framing
07610	Sheet Metal Roofing

Level	Name	Area
Building Common Area		
2nd F.F.	HALLWAY	137 SF
2nd F.F.	HALLWAY	130 SF
2nd F.F.	MENS RESTROOM	125 SF
2nd F.F.	MOPENS RESTROOM	203 SF
2nd F.F.	MOPENS RESTROOM	594 SF
Floor Area		
2nd F.F.	GALLERY	1196 SF
2nd F.F.	GALLERY	1196 SF
Major Vertical Penetration		
2nd F.F.	HALLWAY	183 SF
2nd F.F.	STAIRWAY	104 SF
2nd F.F.	STAIRWAY	439 SF
Size Area		
2nd F.F.	NEW STUDIO	206 SF
2nd F.F.	NEW STUDIO	219 SF
2nd F.F.	NEW STUDIO	219 SF
2nd F.F.	NEW STUDIO	347 SF
2nd F.F.	STUDIO 2A	519 SF
2nd F.F.	STUDIO 2B	122 SF
2nd F.F.	STUDIO 2C	122 SF
2nd F.F.	STUDIO 2D	472 SF
2nd F.F.	STUDIO 2E	456 SF
2nd F.F.	STUDIO 2G	282 SF
2nd F.F.	STUDIO 2H	433 SF
2nd F.F.	STUDIO 2I	122 SF
2nd F.F.	STUDIO 2J	282 SF
2nd F.F.	STUDIO 2K	156 SF
2nd F.F.	STUDIO 2L	156 SF
2nd F.F.	STUDIO 2M	294 SF
2nd F.F.	STUDIO 2N	534 SF
Grand total: 25		7575 SF

NOTE:
Terrace Area Not Included in Square Footage Calculation.

Exterior Area	1060 SF
2nd F.F. TERRACE	1060 SF
Grand total: 1	



2nd FLOOR PLAN

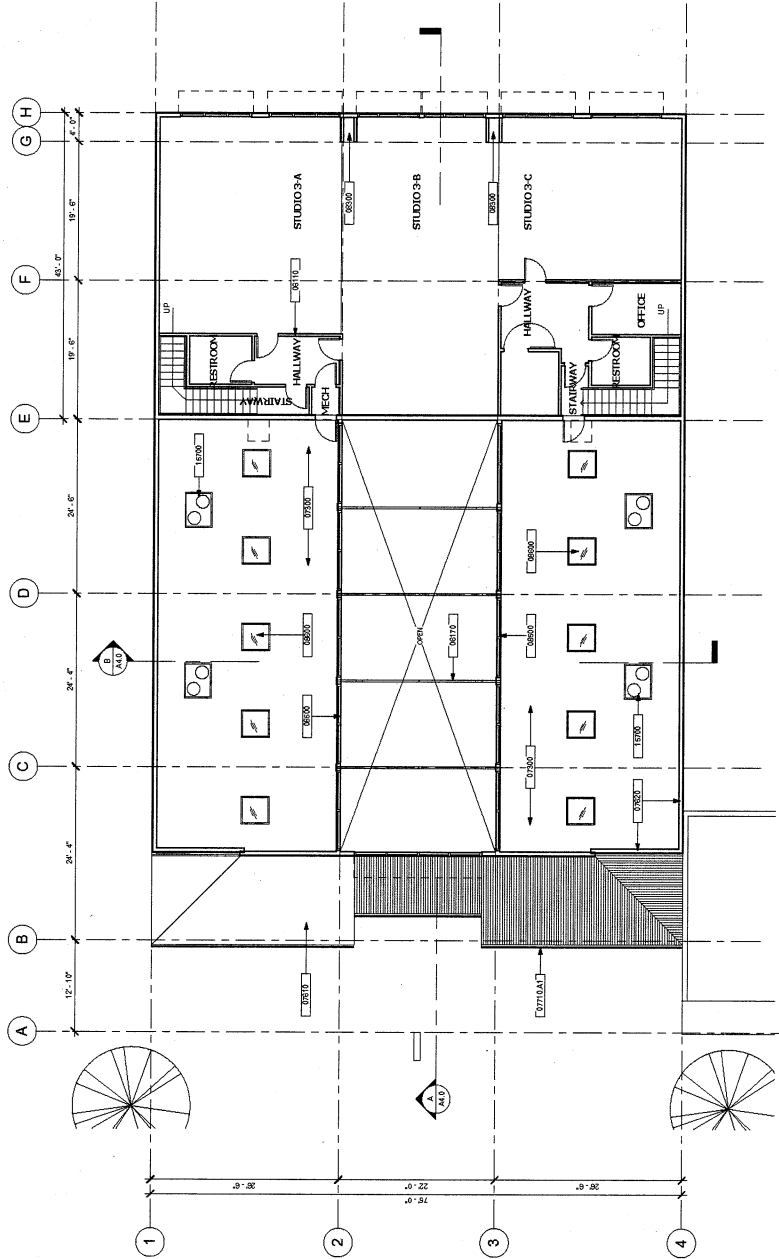
8' 0" 0' 8"
SCALE: 1/8" = 1'-0"
A3.1

08-29-2008

STUDIOS ON THE PARK

Exhibit G
2nd Floor Plan
PD 08-005
(Studios on the Park, Inc.)





PLAN KEYNOTES	
0610	Wood Framing
0620	Prefabricated On Wood
0730	Shingles, Roof Tiles, and Roof On Wood
0740	Sheet Metal Roofing
0750	Sheet Metal Flashing and Trim
0760	Garner
0770	Specialty Doors
0820	Specialty Windows
0830	Specialty Glass
0840	Specialty Glazing
0850	Specialty Glazing
0860	Specialty Glazing
0870	Specialty Glazing
0880	Specialty Glazing
0890	Specialty Glazing
0900	Specialty Glazing
15700	Heating, Ventilation, and Air Conditioning Equipment

Level	3rd Floor Area Name	Area
3rd F.	Building Common Area	132 SF
	HALLWAY	18 SF
	HALLWAY	18 SF
	HALLWAY	18 SF
	HALLWAY	18 SF
	HALLWAY	18 SF
	RESTROOM	45 SF
	RESTROOM	45 SF
	RESTROOM	45 SF
	RESTROOM	45 SF
3rd F.	MECH	366 SF
	MECH	175 SF
	MECH	175 SF
	MECH	175 SF
3rd F.	STAIRWAY	148 SF
	STAIRWAY	148 SF
Office Area	OFFICE	103 SF
	OFFICE	103 SF
3rd F.	STUDIO 3.A	821 SF
	STUDIO 3.B	588 SF
	STUDIO 3.C	620 SF
	STUDIO 3.C	620 SF
Grand total: 11		3016 SF

3rd FLOOR PLAN

8' 4" 0" 8"
SCALE: 1/8" = 1'-0"

A3.2

08-29-2008

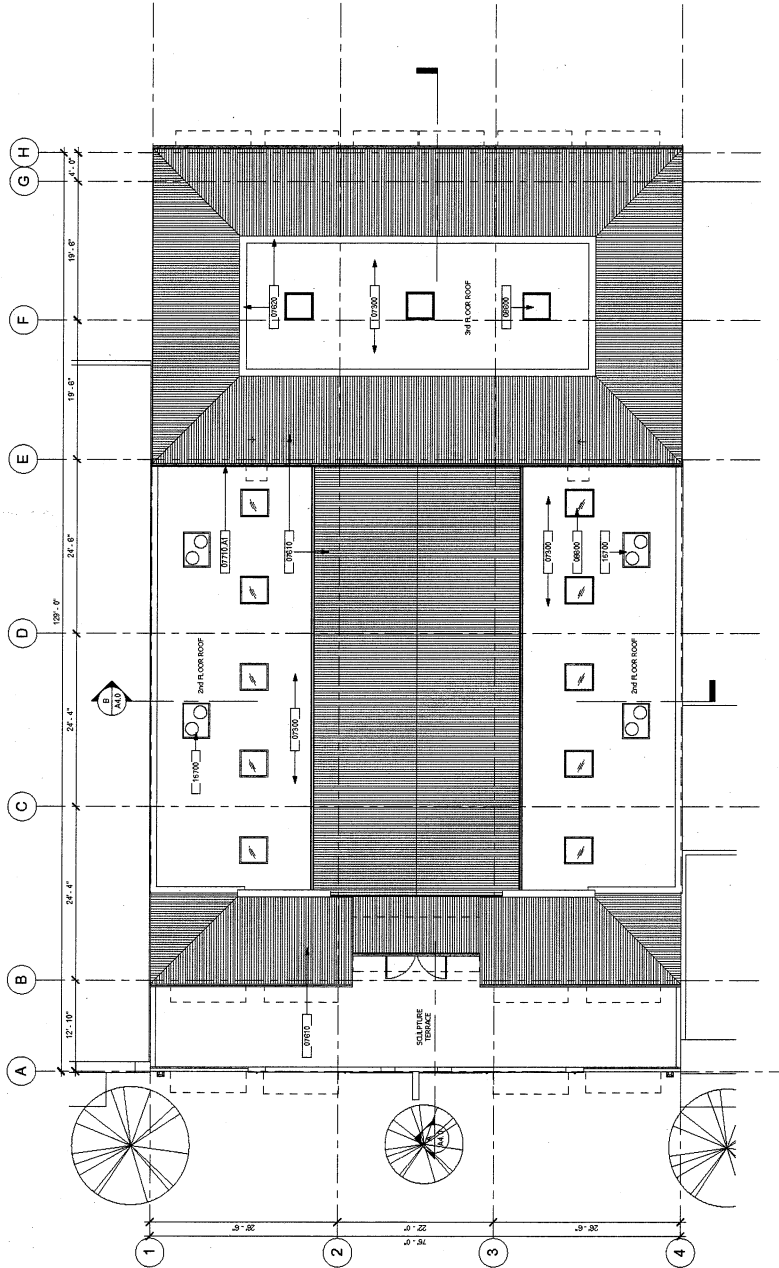
STUDIOS
ON THE PARK

Exhibit H
3rd Floor Plan
PD 08-005

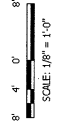
(Studios on the Park, Inc.)



PLAN KEYNOTES	
07501	Stringers, Roof Truss, and Roof Covering
07502	Roofing
07600	Sheet Metal Flashing and Trim
07710.A1	Garage
08600	Skylights
15700	Heating, Ventilating, and Air Conditioning Equipment



ROOF PLAN



A3.3

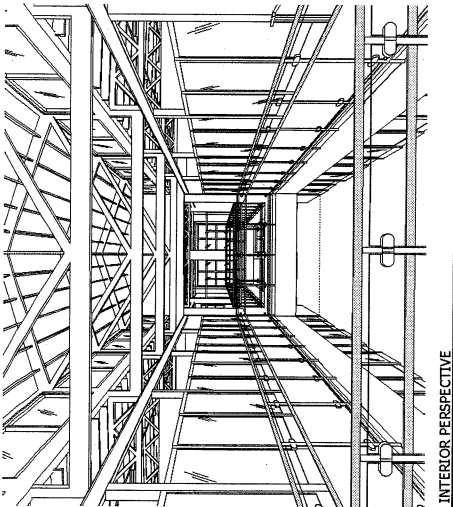
08-29-2008

STUDIOS ON THE PARK

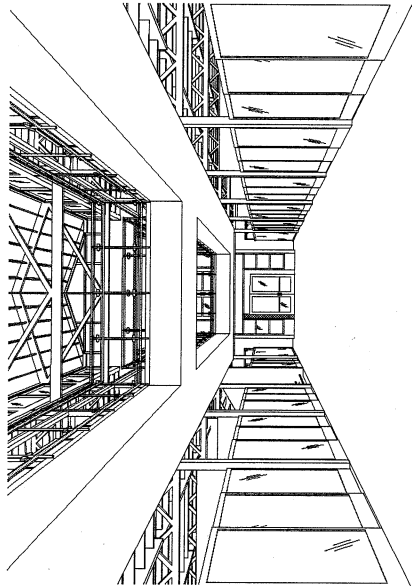
Exhibit I Roof Plan PD 08-005

(Studios on the Park, Inc.)



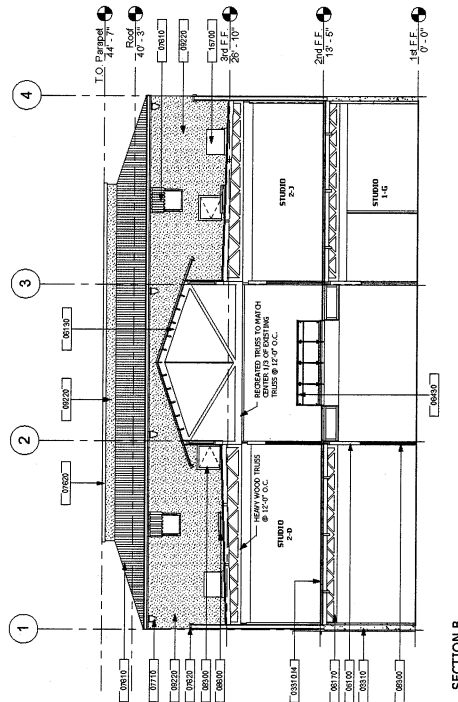


INTERIOR PERSPECTIVE

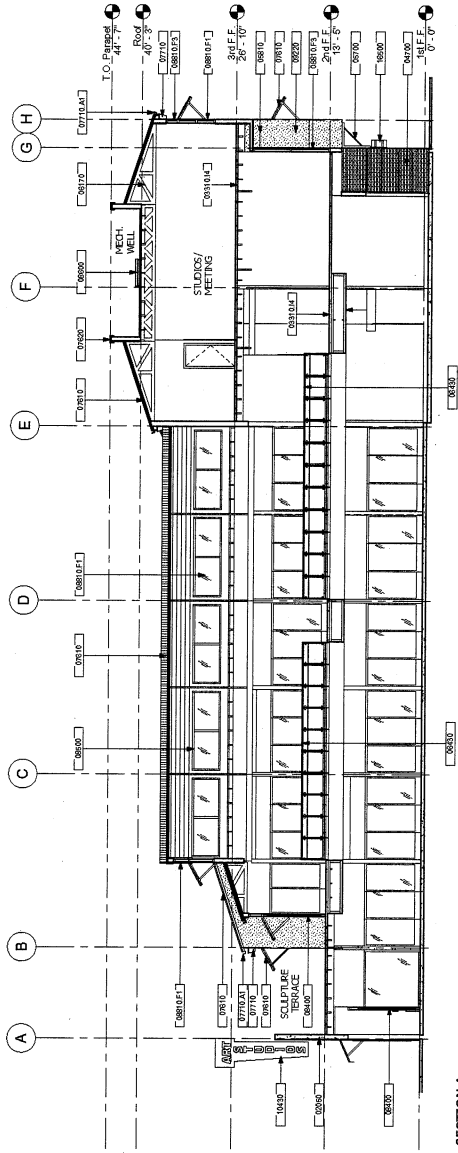


INTERIOR PERSPECTIVE

SECTION KEYNOTES	
03760	Basic Site Materials and Methods
03810	Excavation
03810.1	Excavation
03810.1.4	3-1/2 Cast-in-Place Concrete Slab w/ Metal Decking
04700	Structural Masonry
05000	Structural Steel Framing
05010	Structural Steel Joists
05300	Exterior Wall Assemblies
05310	Exterior Wall Assemblies
05310.1	Exterior Wall Assemblies
05310.1.1	Prefinished Structural Wood
05310.1.2	Wood Scaffolding and Railings
07610	Sheet Metal Roofing
07610.1	Sheet Metal Flashing and Trim
07620	Manufactured Roof Specifications
07710.1	Specialty Doors
08400	Entrances and Storefronts
08500	Windows
08510	Skylights
08510.1	1" Clear Insulating Glass
08510.1.1	1" Clear Insulating Glass
08510.1.2	For Hand Carried Packages
09200	Exterior Storage
10450	Heating, Ventilating, and Air Conditioning Equipment
15700	Heating, Ventilating, and Air Conditioning Equipment
15900	Lighting



SECTION B



SECTION A

STUDIOS
ON THE PARK

Exhibit J
Sections
PD 08-005
(Studios on the Park, Inc.)

BUILDING SECTIONS

8' - 0" 0' 8"
SCALE: 1/8" = 1'-0"

A4.0

08-29-2008

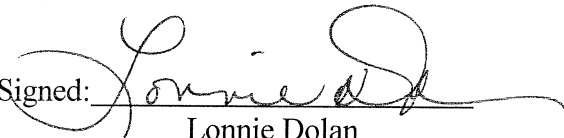


**AFFIDAVIT
OF MAIL NOTICES**

PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Lonnie Dolan, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Planned Development 08-005 (Studios on the Park, 1130 Pine St) on this 21st day of August 2008.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: 

Lonnie Dolan

forms\mailaffi.691

PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION/CITY COUNCIL
PROJECT NOTICING

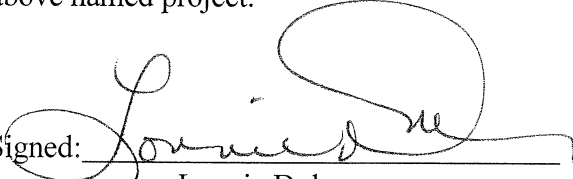
Newspaper: Tribune

Date of Publication: August 20, 2008

Hearing Date: September 9, 2008

Project: Planned Development 08-005
(Laddon/Studios on the Park)

I, Lonnie Dolan, employee of the Community Development Department, Planning Division, of the City of El Paso de Robles, do hereby certify that this notice is a true copy of a published legal newspaper notice for the above named project.

Signed: 
Lonnie Dolan

forms/newsaffi.691

CITY OF EL PASO DE ROBLES
NOTICE OF PUBLIC HEARING:
NOTICE OF INTENT TO ADOPT A
NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing to consider the following project:

Planned Development 08-005: Development Plan application, filed by Anne Laddon on behalf of Studios on the Park, Inc. to construct a three-story, 18,522 square foot building that will be used as an art studio. The proposed project would utilize the existing building façade and perimeter walls as a basis for the new construction. The project is located 1130 Pine Street.

The public review period for the Draft Mitigated Negative Declaration commences on August 20, 2008 and ends at the Public Hearing, which is scheduled to take place on Tuesday, September 9, 2008 at the hour of 7:30 pm in the Conference Center (First Floor) at the Paso Robles Library/City Hall, 1000 Spring Street, Paso Robles, California. All interested parties may appear and be heard at this hearing.

Copies of the staff report to the Planning Commission will be available for review in the City Library and City hall on the Friday before the Planning Commission meeting. Photocopies of the staff report may be purchased for the cost of reproduction.

Written comments on the proposed development plan and mitigated negative declaration may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 provided that such comments are received prior to the time of the public hearing. Oral comments may be made at the hearing. Should you have any questions regarding this application, please call Darren Nash at (805) 237-3970.

If you challenge the development plan or mitigated negative declaration in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Darren Nash, Associate Planner
August 20, 2008

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